

GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 1077 BOSTON POST ROAD TAKEN FROM ZONING LOCATION SURVEY PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES, P.C. DATED NOVEMBER 4, 2019, REVISED TO NOVEMBER 20, 2019.

ZONING ELEMENT	MIN/MAX	EXISTING	PROPOSED
LOT AREA	NONE (SEE NOTE A)	1.4573 ACRES 63,450± SQ. FT.	1.4573 ACRES 63,450± SQ. FT.
MIN. WIDTH	40 FEET	140 FEET	140 FEET
MIN. FRONTAGE	40 FEET	140 FEET	140 FEET
MIN. DEPTH	100 FEET	236± FEET AVG.	236± FEET AVG.
MIN. FRONT YARD	NONE (SEE NOTE B)	11.8± FEET BLDG. 4.3± FEET OVERHANG	11.8± FEET BLDG. 4.3± FEET OVERHANG
MIN. SIDE YARD	NONE (SEE NOTE C)	13.8± FEET	13.8± FEET
MIN. REAR YARD	NONE (SEE NOTE D)	88.8± FEET	88.8± FEET
MAX. BUILDING HEIGHT (STORIES)	2 STORIES (SEE NOTE E)	2 STORIES	2 STORIES
MAX. BUILDING HEIGHT (FEET)	28 FEET	30± FEET	30± FEET
MAX. BUILDING COVERAGE	NONE		
MIN. FRONT LANDSCAPE DEPTH	NONE		
MAX. DEVELOPED SITE AREA	NONE		
MAX. FLOOR AREA OF ALL DWELLING UNITS	1,000 SQ. FT. (SEE NOTE F)		

REFER TO SECTION 656 OF THE DAREN ZONING REGULATIONS FOR NOTES A THROUGH F AS REFERRED TO ABOVE.

LEGEND

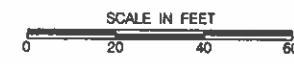
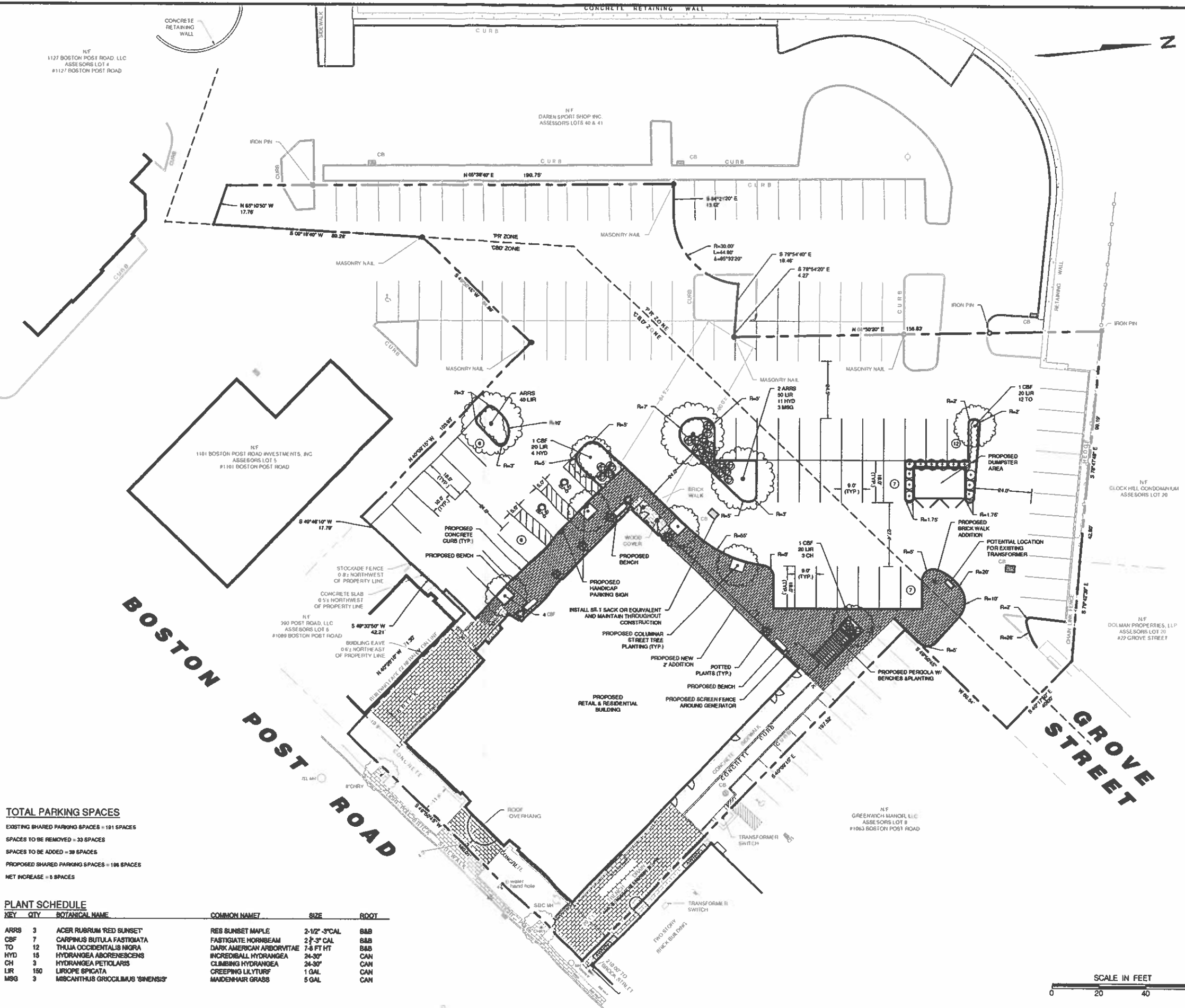
EXISTING SYMBOLS:	PROPOSED SYMBOLS:
○ Iron Pin (Found)	○ (YD) Storm Yard Drain
□ Monument (Found)	● (MH) Storm Drain Manhole
○ Manhole	□ (CB) Catch Basin
□ "CB" Catch Basin	○ (SSMH) Sanitary Sewer Manhole
○ Utility Pole	▲ P-1 Pave Test Hole Location & Number
○ Light Pole	▲ DTH-1 Deep Test Hole Location & Number
○ Water Gate	⊕ Proposed Well
○ Gas Valve	
○ Gas Meter	
⊕ Existing Well	
EXISTING LINETYPES:	PROPOSED LINETYPES:
--- Property Line	— S — Sanitary Sewer
— S — Sanitary Sewer Line	— E — Electric Service
— E — UG Elec. Line	— W — Water Service
— W — Water Lines	— T — UG Telephone Service
— OH — Overhead Utilities	— E/T — Electric/Telephone Service
— T — UG Tele. Line	— P — Primary Septic
— E/T — UG Electric/Telephone Line	— R — Reserve Septic
— Wood/Chain Link Fence	— Retaining Wall
— Stone Ret. Wall	— Contour
— Contour	— Spot Elevation
— Wetland Limit	— Bit Fence (GBF)
— Spot Elevation	— Wood/Chain Link Fence
— Watercourse Limit	— Construction Fence
— Drainage Line	— Vegetative Buffer
— Town/City Line	— Wetland Limit (Flagged)
— 25 Year Flood Line	
— 100 Year Flood Line	
— FEMA Flood Zone Line	
— Floodway Boundary	
— Mean High Water	
— Coastal Jurisdiction Line	

TOTAL PARKING SPACES

EXISTING SHARED PARKING SPACES = 101 SPACES
 SPACES TO BE REMOVED = 33 SPACES
 SPACES TO BE ADDED = 38 SPACES
 PROPOSED SHARED PARKING SPACES = 106 SPACES
 NET INCREASE = 5 SPACES

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME?	SIZE	ROOT
ARRS	3	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2-1/2" - 3" CAL	B&B
CBF	7	CARPINUS BUTULA FASTIGIATA	FASTIGIATE HORNBEEAM	2 1/2" - 3" CAL	B&B
TO	12	THALIA OCCIDENTALIS NIGRA	DARK AMERICAN ARBORVITAE	7-8 FT HT	B&B
HYD	15	HYDRANGEA ABORENSIS	INCREDIBALL HYDRANGEA	24-30"	CAN
CH	3	HYDRANGEA PETIOLARIS	CLIMBING HYDRANGEA	24-30"	CAN
LIR	150	LIRIOPE SPICATA	CREeping LILYTURF	1 GAL	CAN
MSG	3	MISCANTHUS GIGOCILIMBUS 'SINENSIS'	MADEWHAIR GRASS	5 GAL	CAN



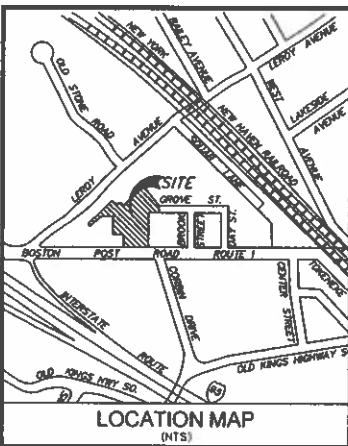
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 Civil Engineering, Site Planning, Surveying, Landscaping, Construction Management & Planning
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PROJECT FOR: DARIEN PLACE LLC
 PROJECT LOCATION: 1077 POST ROAD, DARIEN, CT
 TITLE: PROPOSED SITE IMPROVEMENTS TO THE EXISTING PARKING LOT AT 1077 BOSTON POST ROAD

PROJECT NO. 19235-01
 SCALE 1" = 20'
 DATE 2/4/2020
 DRAWN BY SM
 CHECKED BY PR

C-1



GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 1077 BOSTON POST ROAD TAKEN FROM ZONING LOCATION SURVEY PREPARED BY WILLIAM W. SCHEIDT & ASSOCIATES, P.C. DATED NOVEMBER 4, 2019. REVISED TO NOVEMBER 20, 2019.

ZONING ELEMENT	MIN/MAX	EXISTING	PROPOSED
LOT AREA	NONE (SEE NOTE A)	1.457± ACRES 63,456± SQ. FT.	1.457± ACRES 63,456± SQ. FT.
MIN. WIDTH	40 FEET	140 FEET	140 FEET
MIN. FRONTAGE	40 FEET	140 FEET	140 FEET
MIN. DEPTH	100 FEET	238± FEET AVG.	238± FEET AVG.
MIN. FRONT YARD	NONE (SEE NOTE B)	11.8± FEET BLDG. 4.3± FEET OVERHANG	11.8± FEET BLDG. 4.3± FEET OVERHANG
MIN. SIDE YARD	NONE (SEE NOTE C)	13.8± FEET	13.8± FEET
MIN. REAR YARD	NONE (SEE NOTE D)	80.0± FEET	80.0± FEET
MAX. BUILDING HEIGHT (STORIES)	2 STORIES (SEE NOTE E)	2 STORIES	2 STORIES
MAX. BUILDING HEIGHT (FEET)	28 FEET (SEE NOTE E)	30± FEET	30± FEET
MAX. BUILDING COVERAGE	NONE		
MIN. FRONT LANDSCAPE DEPTH	NONE		
MAX. DEVELOPED SITE AREA	NONE		
MAX. FLOOR AREA OF ALL DWELLING UNITS	1,000 SQ. FT. (SEE NOTE F)		

REFER TO SECTION 658 OF THE DARIEN ZONING REGULATIONS FOR NOTES A THROUGH F AS REFERRED TO ABOVE.

LEGEND

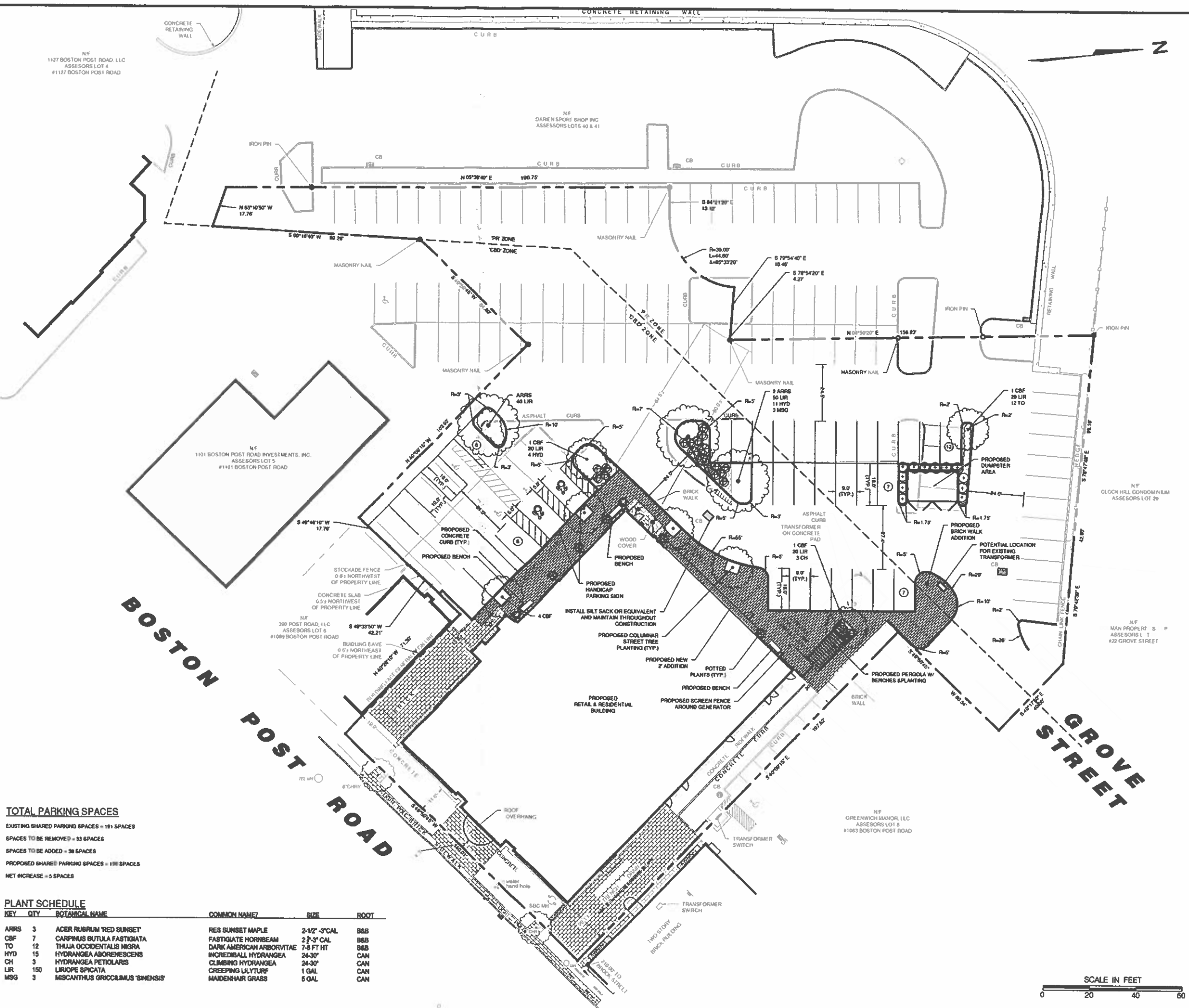
EXISTING SYMBOLS:	PROPOSED SYMBOLS:
○ Iron Pin (Found)	○ (YD) Storm Yard Drain
○ Monument (Found)	○ (MH) Storm Drain Manhole
○ Manhole	○ (CB) Catch Basin
○ "CB" Catch Basin	○ (SSM) Sanitary Sewer Manhole
○ Utility Pole	○ P-1 Pans Test Hole Location & Number
○ Light Pole	○ DTH-1 Deep Test Hole Location & Number
○ Water Gate	○ Proposed Wall
○ Gas Valve	
○ Gas Meter	
○ Existing Well	
EXISTING LINETYPES:	PROPOSED LINETYPES:
--- Property Line	--- S Sanitary Sewer
--- Sanitary Sewer Line	--- E Electric Service
--- LUG Elec. Line	--- W Water Service
--- W Water Line	--- T LUG Telephone Service
--- Overhead Utilities	--- E/T Electric/Telephone Service
--- LUG Tele. Line	--- Primary Septic
--- LUG Electric/Telephone Line	--- Reserve Septic
--- Wood/Chain Link Fence	--- Retaining Wall
--- Stone Ret. Wall	--- Contour
--- Contour	--- Spot Elevation
--- Wetland Limit	--- BM Fence (GSF)
--- Spot Elevation	--- Wood/Chain Link Fence
--- Wetland Limit	--- Construction Fence
--- Drainage Line	--- Vegetative Buffer
--- Town/City Line	--- Wetland Limit (Flagged)
--- 25 Year Flood Line	
--- 100 Year Flood Line	
--- FEMA Flood Zone Line	
--- Floodway Boundary	
--- Mean High Water	
--- Coastal Jurisdiction Line	

TOTAL PARKING SPACES

EXISTING SHARED PARKING SPACES = 191 SPACES
 SPACES TO BE REMOVED = 33 SPACES
 SPACES TO BE ADDED = 38 SPACES
 PROPOSED SHARED PARKING SPACES = 196 SPACES
 NET INCREASE = 5 SPACES

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
ARRS	3	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2-1/2" - 3" CAL	B&B
CBF	7	CARPINUS BUTULIA FASTIGIATA	FASTIGIATE HORNBEAM	2 1/2" CAL	B&B
TO	12	THUJA OCCIDENTALIS NIGRA	DARK AMERICAN ARBORVITAE	7-8 FT HT	B&B
HYD	15	HYDRANGEA ABORWENSIS	INCREDIBLE HYDRANGEA	24-30"	CAN
CH	3	HYDRANGEA PETIOLARIS	CLIMBING HYDRANGEA	24-30"	CAN
LR	150	LIRIOPE SPICATA	CREeping LILYTURF	1 GAL	CAN
MSG	3	MISCANTHUS GRACILIMUS 'SINENSIS'	MAIDENHAIR GRASS	5 GAL	CAN



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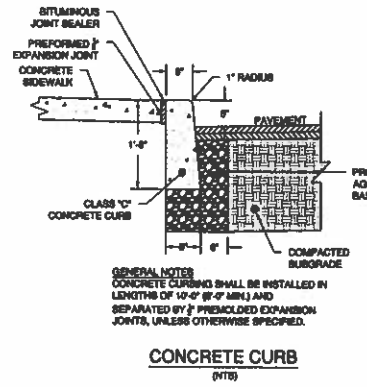
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PROJECT NO. 19235-01
 SCALE 1" = 20'
 DATE 2/4/2020
 DRAWN BY: SM CHECKED BY: PR

TITLE: PROPOSED SITE IMPROVEMENTS TO THE EXISTING PARKING LOT EXISTING VS PROPOSED CONDITIONS

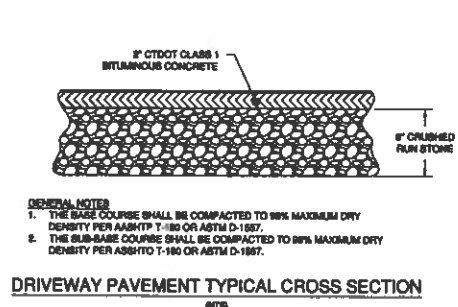
PREPARED FOR: DARIEN PLACE, LLC
 PROJECT LOCATION: 1077 POST ROAD, DARIEN, CT

REVISION DATE



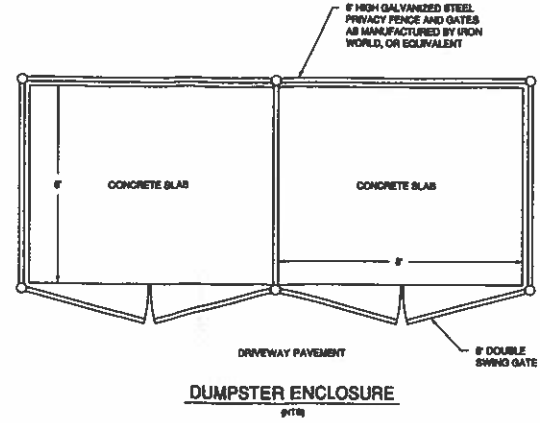
GENERAL NOTES:
CONCRETE CURBS SHALL BE INSTALLED IN LENGTHS OF 10'-0\"/>

CONCRETE CURB (NTS)

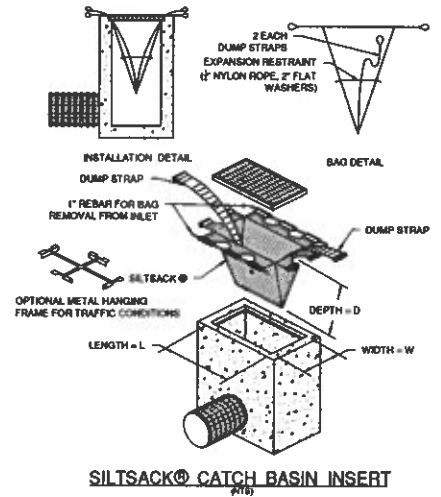


GENERAL NOTES:
1. THE BASE COURSE SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-199 OR ASTM D-1557.
2. THE SUB-BASE COURSE SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-199 OR ASTM D-1557.

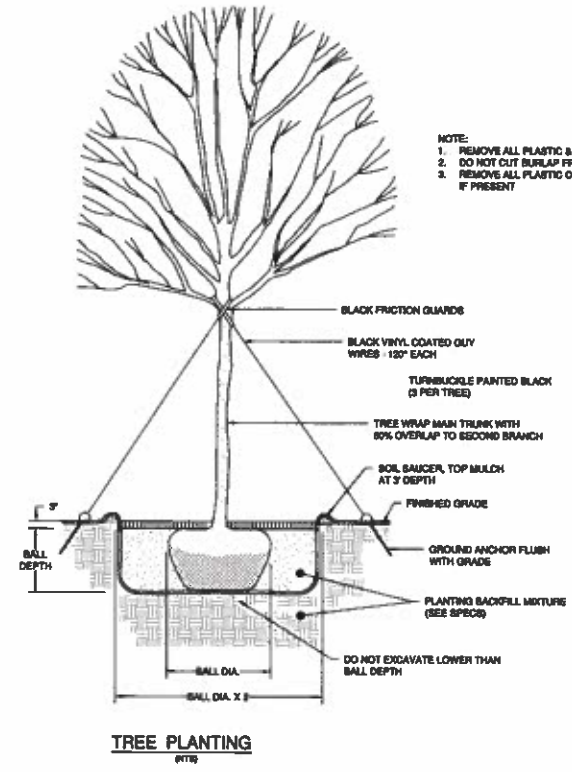
DRIVEWAY PAVEMENT TYPICAL CROSS SECTION (NTS)



DUMPSTER ENCLOSURE (NTS)

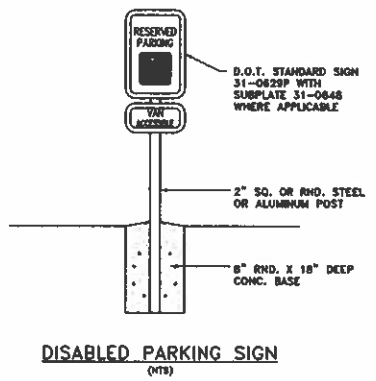


SILTSACK® CATCH BASIN INSERT (NTS)

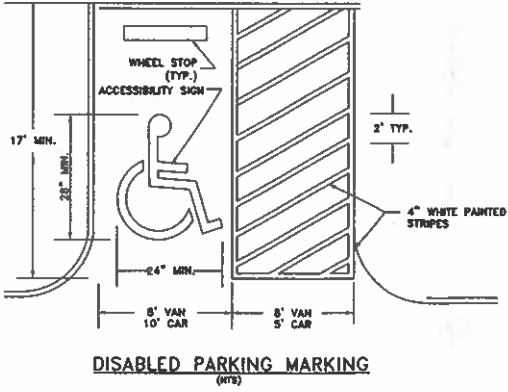


NOTE:
1. REMOVE ALL PLASTIC & WIRE TAPS
2. DO NOT CUT BURLAP FROM SIDES OF BALL
3. REMOVE ALL PLASTIC CORDS FROM TREE BALL, IF PRESENT

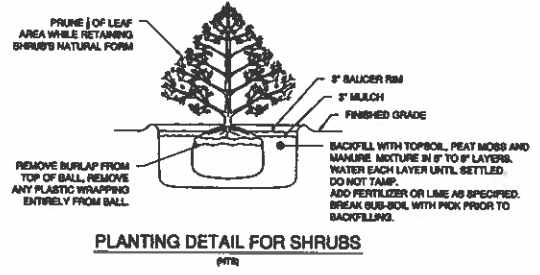
TREE PLANTING (NTS)



DISABLED PARKING SIGN (NTS)



DISABLED PARKING MARKING (NTS)



PLANTING DETAIL FOR SHRUBS (NTS)

Civil & Structural Engineers
Earthquake Engineers
Permit Coordinators
Construction Management
Construction Finance

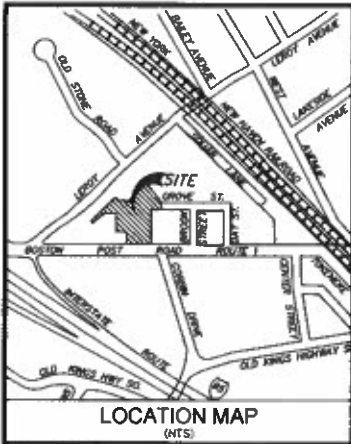
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PREPARED FOR: DARREN PLACE LLC
PROJECT LOCATION: 1077 POST ROAD, DARIEN, CT
TITLE: PROPOSED SITE IMPROVEMENTS TO THE EXISTING PARKING LOT NOTES & DETAILS

PROJECT No. 10235-01
SCALE: NTS
DATE: 2/4/2020
DRAWN BY: SM
CHECKED BY: PR

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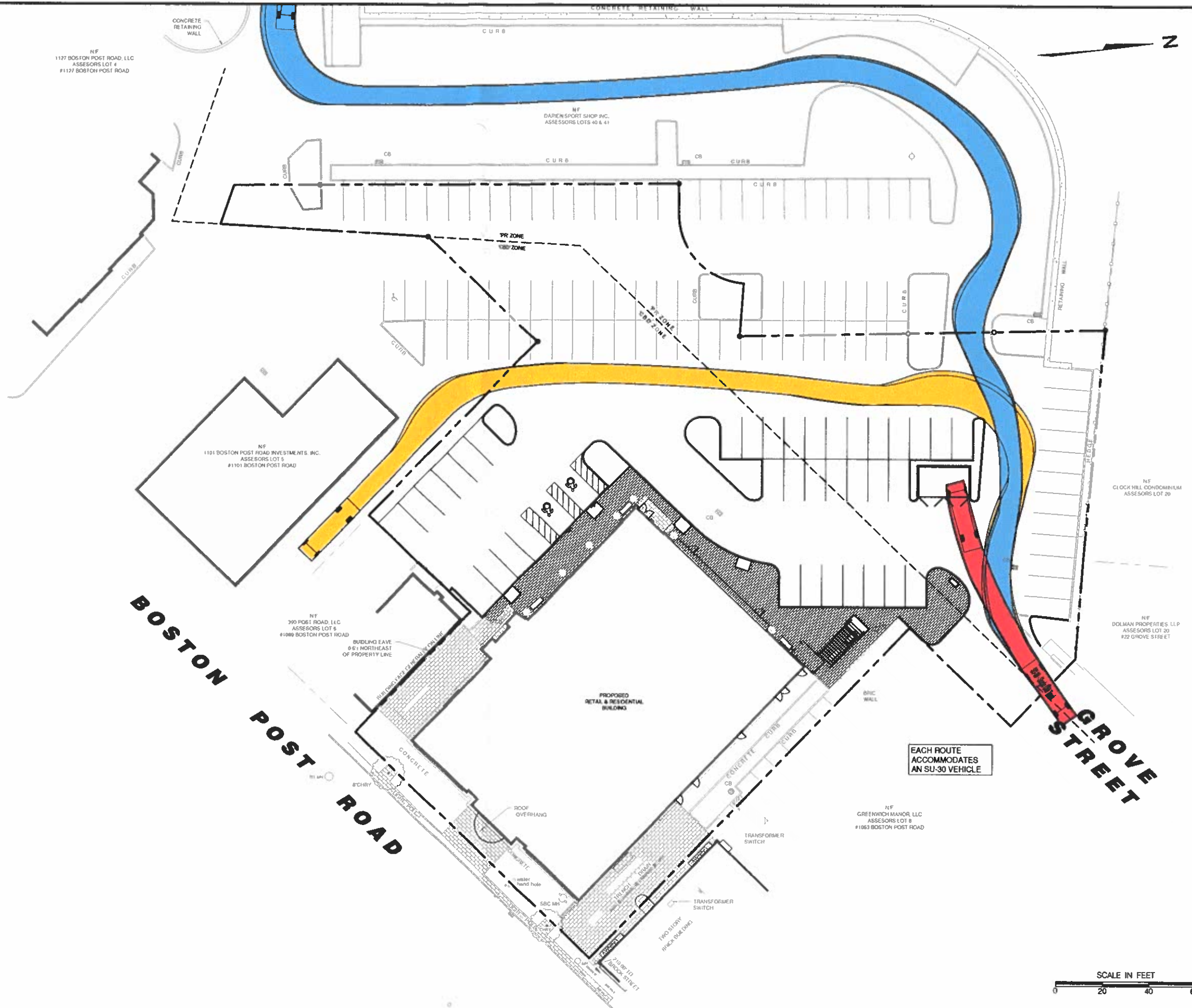


GENERAL NOTES

1. LOT LINE & TOPOGRAPHIC INFORMATION FOR 1077 BOSTON POST ROAD TAKEN FROM ZONING LOCATION SURVEY PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES, P.C. DATED NOVEMBER 4, 2019. REVISED TO NOVEMBER 26, 2019.

LEGEND

EXISTING SYMBOLS:	PROPOSED SYMBOLS:
● Iron Pin (Found)	● (YD) Storm Yard Drain
□ Monument (Found)	● (SD) Storm Drain Manhole
○ Manhole	■ (CB) Catch Basin
□ "CB" Catch Basin	○ (SSM-1) Sanitary Sewer Manhole
○ Utility Pole	▲ Parc Test Hole Location & Number
○ Light Pole	◆ Deep Test Hole Location & Number
○ Water Gate	⊕ DTH-1
○ Gas Valve	⊕ Proposed Well
○ Gas Meter	
○ Existing Well	
EXISTING LINETYPES:	PROPOSED LINETYPES:
— Property Line	— S — Sanitary Sewer
— Sanitary Sewer Line	— E — Electric Service
— U/G Elec. Line	— W — Water Service
— Water Line	— T — U/G Telephone Service
— Overhead Utilities	— E/T — Electric/Telephone Service
— U/G Tels. Line	— Primary Septic
— U/G Electric/Telephone Line	— Reserve Septic
— Wood/Chain Link Fence	— Retaining Wall
— Stone Ret. Wall	— Contour
— Contour	— Spot Elevation
— Wetland Limit	— 8ft Fence (GSF)
— Spot Elevation	— Wood/Chain Link Fence
— Watercourse Limit	— Construction Fence
— Drainage Line	— Vegetative Buffer
— Town/City Line	— Wetland Limit (Flagged)
— 25 Year Flood Line	
— 100 Year Flood Line	
— FEMA Flood Zone Line	
— Floodway Boundary	
— Mean High Water	
— Coastal Jurisdiction Line	



EACH ROUTE ACCOMMODATES AN SU-30 VEHICLE



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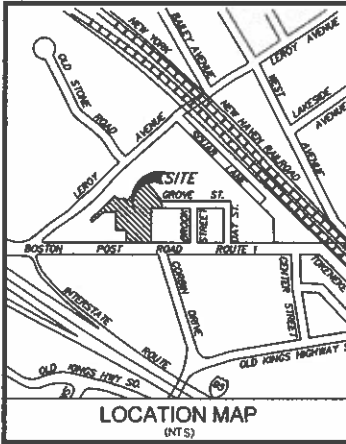
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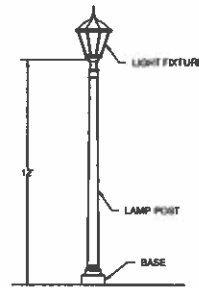
PROJECT NO. 19235-01
SCALE 1" = 20'
DATE 2/4/2020
DRAWN BY: BM
CHECKED BY: PR

PREPARED FOR: DARIEN PLACE LLC
PROJECT LOCATION: 1077 POST ROAD, DARIEN, CT
TITLE: PROPOSED SITE IMPROVEMENTS TO THE EXISTING PARKING LOT TURNING MOVEMENTS

REVISION DATE: CSSE

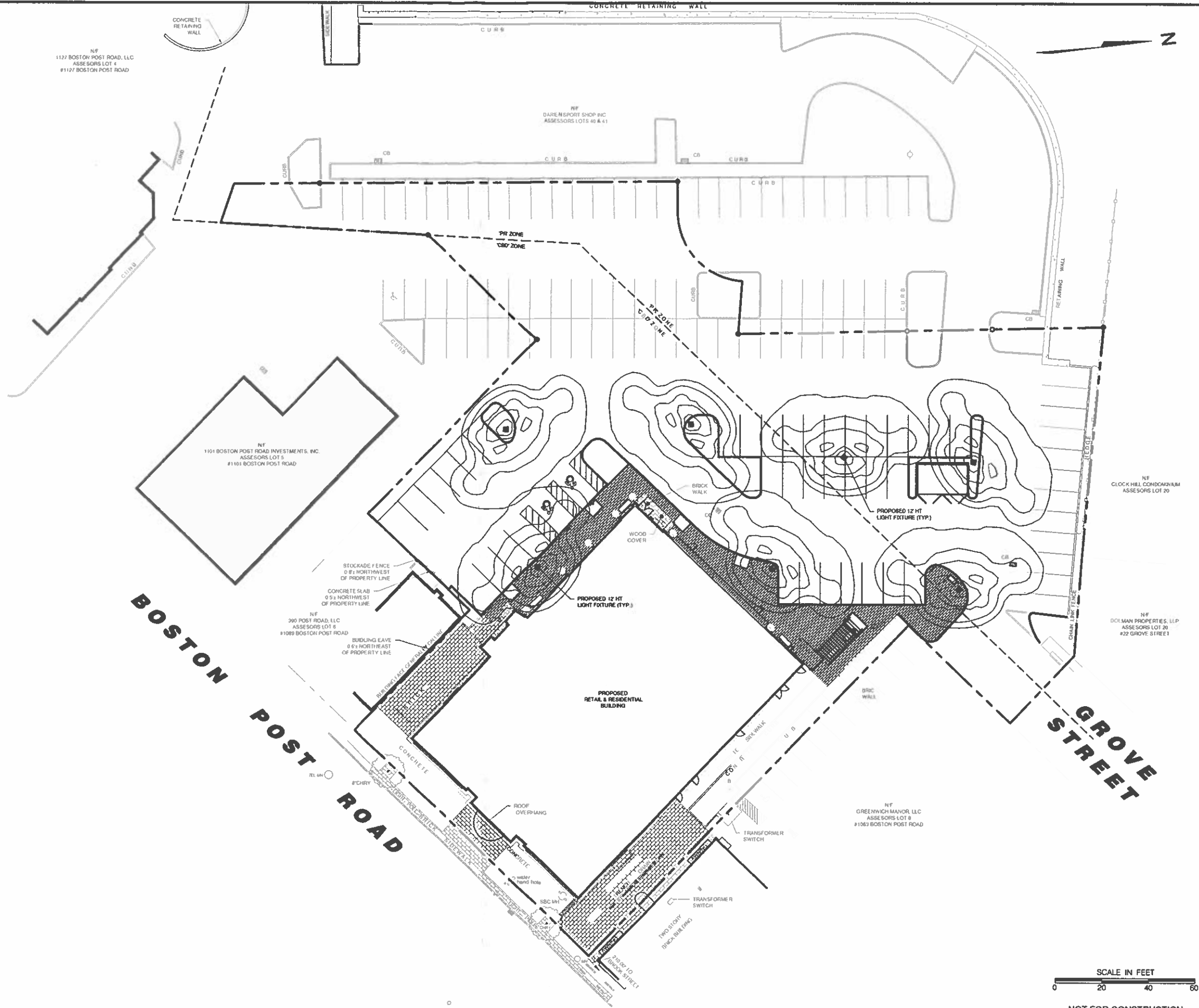


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ORNAMENTAL LIGHT FIXTURE
 LIGHT POLE AND FIXTURE BY MEL NORTHY COMPANY WITH AORN LUMINAIR, LED SHARP CUTOFF AND DIRECTED LIGHT SOURCE. POLE TO BE 12 FT HIGH

EXISTING SYMBOLS:		PROPOSED SYMBOLS:	
●	Iron Pin (Found)	⊙	(YD) Storm Yard Drain
□	Monument (Found)	⊙	(MH) Storm Drain Manhole
○	Manhole	⊙	(CB) Catch Basin
⊙	"CB" Catch Basin	⊙	(SSM-1) Sanitary Sewer Manhole
⊙	Utility Pole	▲	Pero Test Hole Location & Number
⊙	Light Pole	P-1	
⊙	Water Gate	⊕	Deep Test Hole Location & Number
⊙	Gas Valve	DTH-1	
⊙	Gas Meter	⊙	Proposed Well
⊙	Existing Well		
EXISTING LINETYPES:		PROPOSED LINETYPES:	
---	Property Line	---	Sanitary Sewer
---	Sanitary Sewer Line	---	Electric Service
---	UG Elec. Line	---	Water Service
---	Water Line	---	UG Telephone Service
---	Overhead Utilities	---	Electric/Telephone Service
---	UG Tele. Line	---	Primary Septic
---	UG Electric/Telephone Line	---	Reserve Septic
---	Wood/Chain Link Fence	---	Retaining Wall
---	Stone Ret. Wall	---	Contour
---	Contour	---	Spot Elevation
---	Wetland Limit	---	Bit Fence (GSF)
---	Spot Elevation	---	Wood/Chain Link Fence
---	Watercourse Limit	---	Construction Fence
---	Drainage Line	---	Vegetative Buffer
---	Town/City Line	---	Wetland Limit (Flagged)
---	25 Year Flood Line		
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 CHECKED BY: PR

L-1